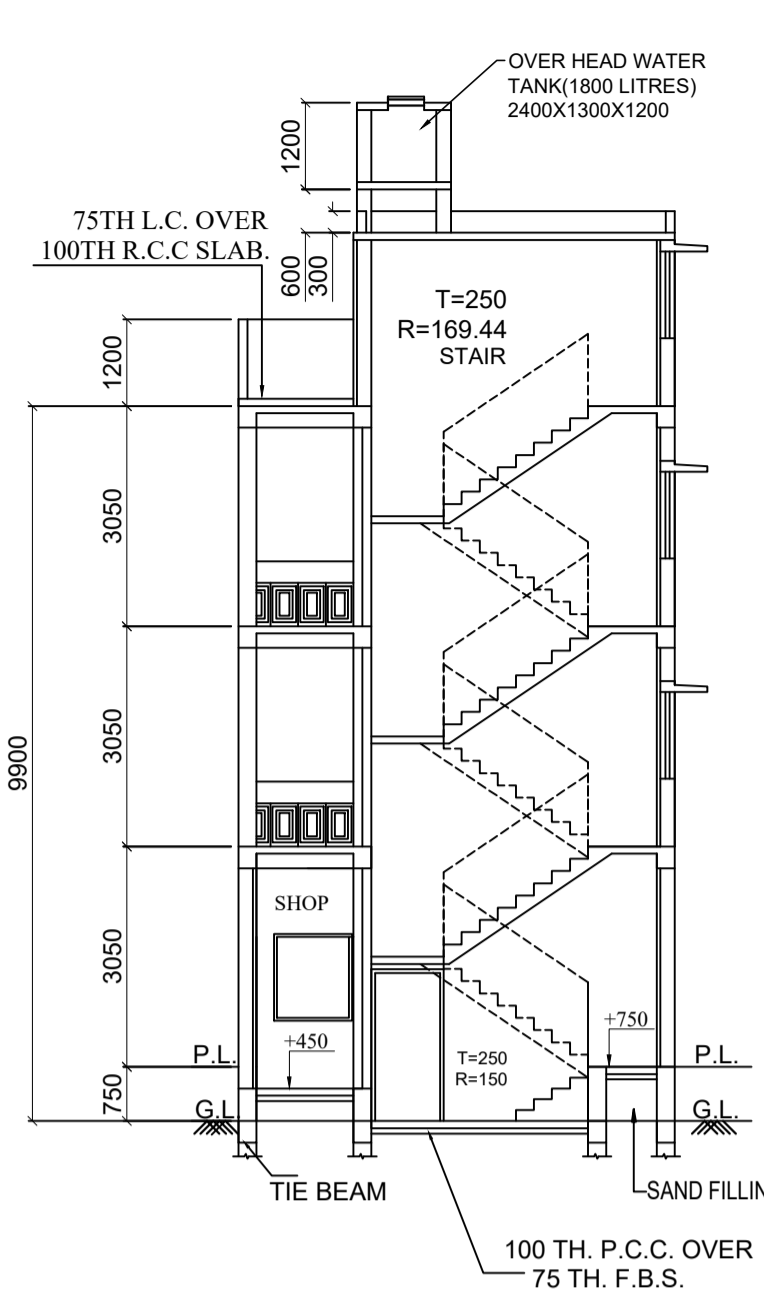
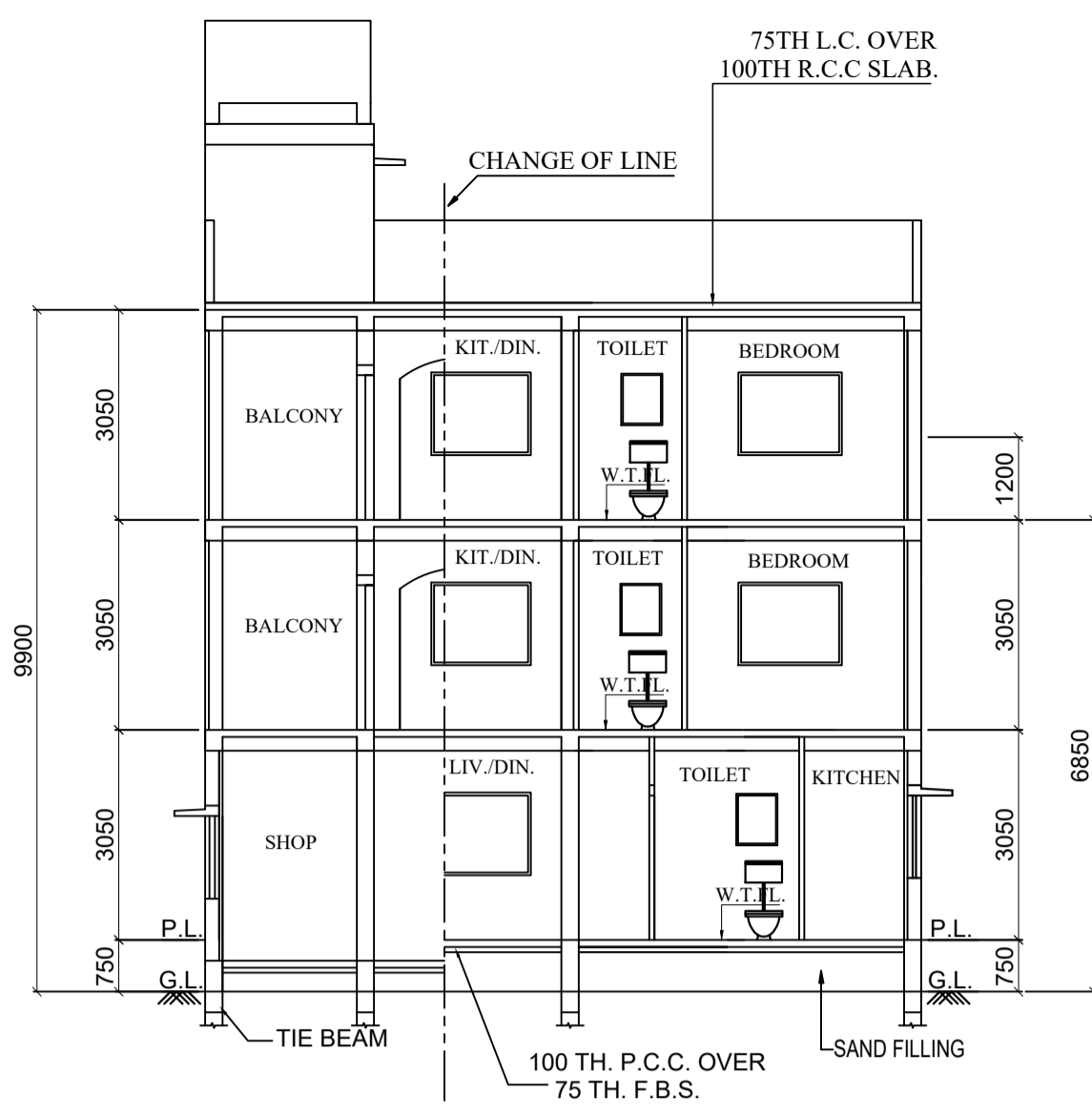


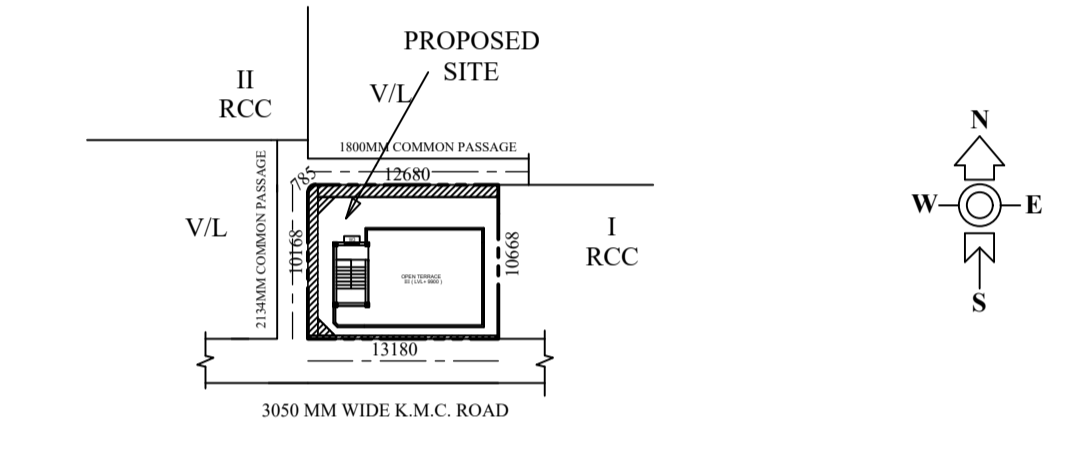
FRONT ELEVATION  
SCALE 1:100



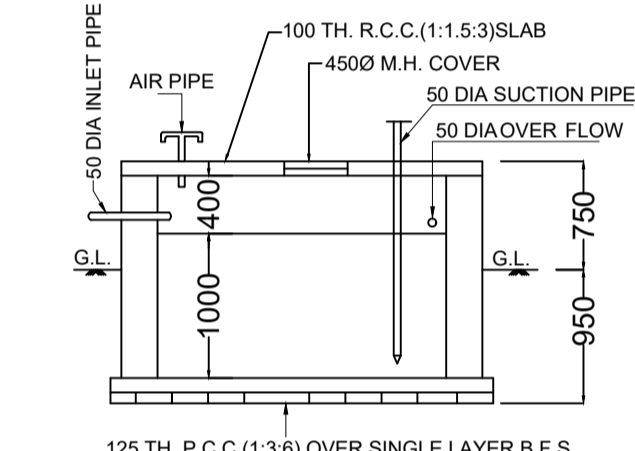
SECTION AT A-A  
(SCALE 1:100)



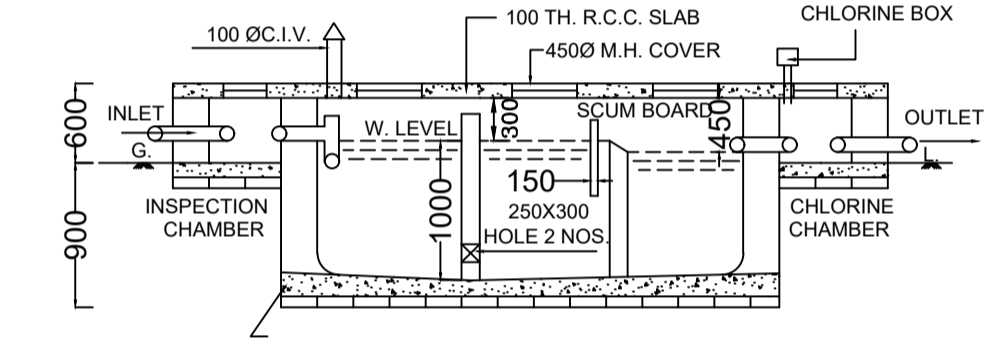
SECTION AT B-B  
(SCALE 1:100)



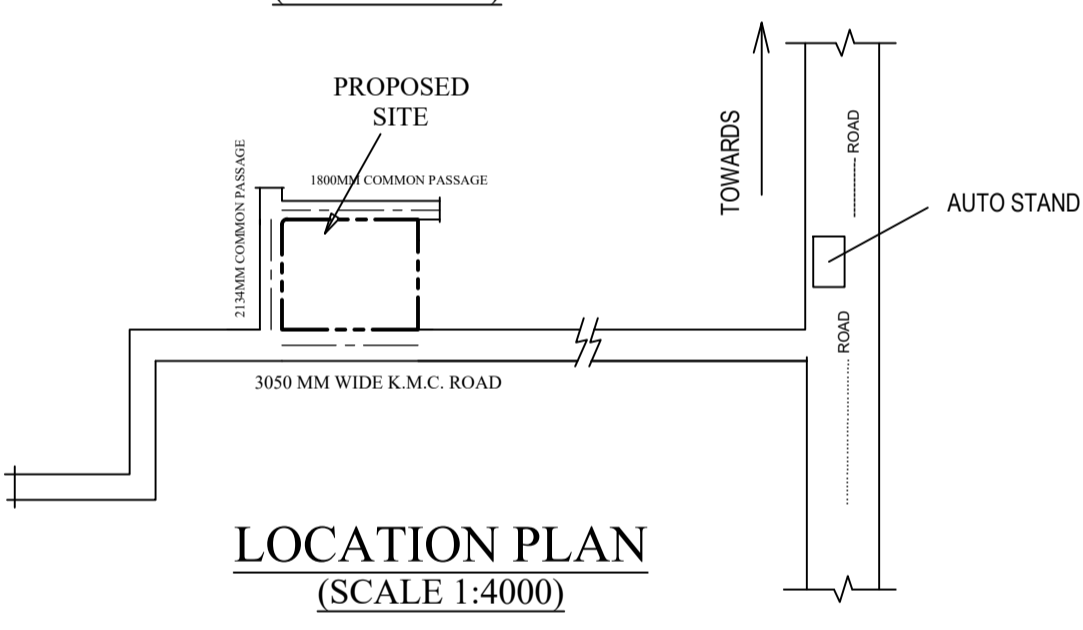
SITE PLAN  
(SCALE 1:600)



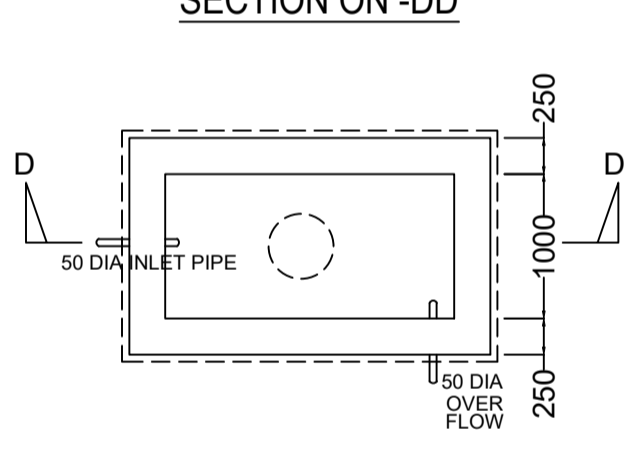
SECTION ON -DD



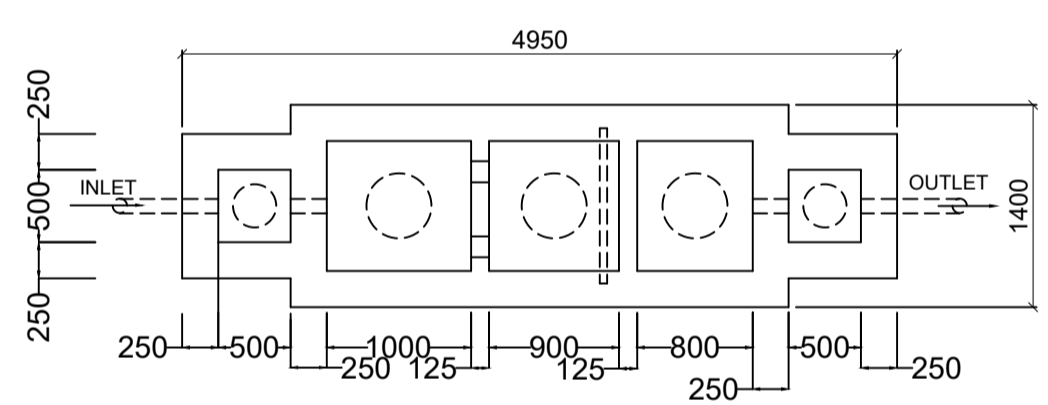
LONG SECTION



LOCATION PLAN  
(SCALE 1:4000)



DETAILS OF S.U.W.R.  
2000 LTRS  
SCALE : 1:50



DETAILS OF SEPTIC TANK  
(12 USERS)  
SCALE : 1:50

SCHE. OF DOORS			SCHE. OF WINDOWS		
MKD.	WIDTH	LINTEL HEIGHT	MKD.	WIDTH	HEIGHT SILL / LINTEL
D1	1000	2100	W1	1500	800 / 2100
D2	900	2100	W2	1200	800 / 2100
D3	750	2100	W3	1000	800 / 2100
			W4	600	1500 / 2100

OFFICE SEAL

STATEMENT OF PLAN PROPOSAL :-

1. ASSESSEE NO. -  
2. DETAILS OF REGD. DEED :-  
3. DETAILS OF REGD. BOUNDARY DECL. :-  
4. DETAILS OF REGD. FRONT STRIP OF LAND :-  
5. DETAILS OF REGD. SIDE STRIP OF LAND :-  
6. DETAILS OF REGD. SPREAD CORNER OF LAND :-  
7. (a) LAND AREA (as per DEED) :-  
(b) AREA OF LAND (AS PER BOUN. DECL.) :-  
(c) NO. OF STORIES = III  
8. NO OF TENEMENTS = 3  
9. SIZE OF TENEMENTS :-

1. GROUND COVERAGE  
PERMISSIBLE - 91.357 SQ.M. (65 %) AS PER - K.M.C. OFFICE CIR-4 OF 2017-2018  
CONSUMED - 68.915 SQ.M. (49.032 %)

2. F.A.R.  
PERMISSIBLE - 1.25  
CONSUMED - 174.548/140.55= 1.242

3. GROUND FLOOR AREA = 60.718 SQ.M.  
4. FIRST FLOOR AREA = 68.915 SQ.M.  
5. SECOND FLOOR AREA = 68.915 SQ.M.  
6. TOTAL COVERED AREA INCLUDING EXEMPTED SPACE = 198.548 SQ.M.  
7. AREA OF TOTAL EXEMPTED SPACE = 8 X 3 = 24 SQ.M.  
8. TOTAL COVERED AREA EXCLUDING EXEMPTED SPACE = 174.548 SQ.M.  
9. STAIR COVERED AREA - 10.607 SQ.M.  
10. TERRACE AREA - 68.915 SQ.M.  
11. SHOP AREA COVERED - 19.237 SQ.M.  
12. SHOP AREA CARPET - 9.752 + 9.96 = 19.712 SQ.M.  
13. OVER HEAD TANK AREA - 3.12 SQ.M.  
14. OTHER AREA FOR FEES - 24 SQ.M.

**SPECIFICATION :-**  
(1) GRADE OF STEEL : Fe 500  
(2) GRADE OF CONCRETE : M20  
(3) OTHER SPECIFICATIONS WILL BE FOLLOWED AS PER N.B.C.  
(4) ASSUMING BEARING CAPACITY OF SOIL 7 t/SQ.M.

**NOTES :-**  
(a) ALL DIMENSIONS ARE IN MM.  
(b) ALL EXTERNAL WALLS ARE 200 TH.  
(c) ALL INTERNAL WALLS ARE 125 TH. & 75 TH.

**DECLARATION OF L.B.S.**  
CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF KMC BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE ADJUTING K.M.C. ROAD CONFIRMS WITH THE PLAN, WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILDABLE SITE & NOT A TANK OR FILLED UP TANK. THE LAND IS DEMARCATED BY BOUNDARY WALL. THE CONSTRUCTION OF U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.

SIGNATURE OF L.B.S.

**DECLARATION OF STRUCTURAL ENGINEER**  
THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE N.B.C. OF INDIA (LATEST REVISION) AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

SIG. OF STRUCTURAL ENGINEER

**DECLARATION OF OWNER**  
I, DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT WE, SHALL ENGAGE L.B.S. AND E.S.E. DURING CONSTRUCTION. WE SHALL FOLLOW THE INSTRUCTION OF L.B.S. AND E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN). THE PLOT IS IDENTIFIED BY ME AND DEMARCATED BY BOUNDARY WALL IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF L.B.S./E.S.E. BEFORE STARTING OF BUILDING FOUNDATION WORK.

SIGNATURE OF OWNER

PLAN OF A PROPOSED TWO STORIED RESIDENTIAL BUILDING u/s 393A OF K.M.C. ACT 1980 COMPLYING WITH K.M.C. BUILDING RULE 2009 AT PREMISES NO.-

NAME OF OWNER:

SCALE ~ 1:100  
1:50  
1:600  
1:4000

TITLE :- FLOOR PLAN, ELEVATION, SECTIONAL, SITE PLAN, KEY PLAN

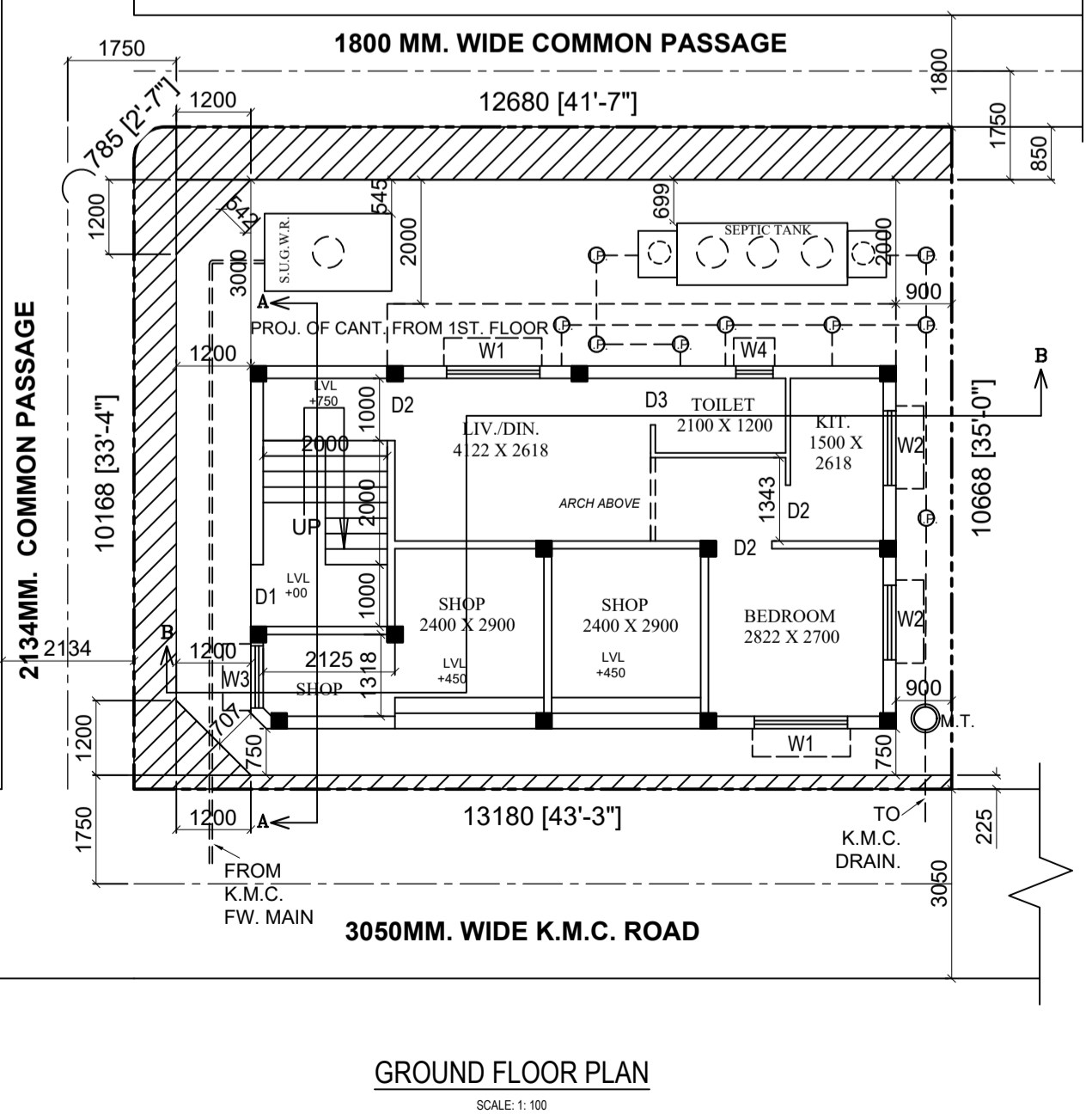
REFERENCE POINT MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS- 84		SITE ELEVATION (AMSL.)
	LATITUDE	LONGITUDE	
	22°-46'-1.257"	88°-33'-83.531"	10 M.

THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF ANY AT AGE, IT IS FOUND OTHERWISE, THEN I SHALL BE FULL LIABLE FOR WHICH THE KOLKATA MUNICIPAL CORPORATION AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST US AS PER LAW.

SIGNATURE OF L. B. S. SIGNATURE OF OWNER

THE PLOT DOES NOT FALL ON THE RED ZONE OF CCZM.

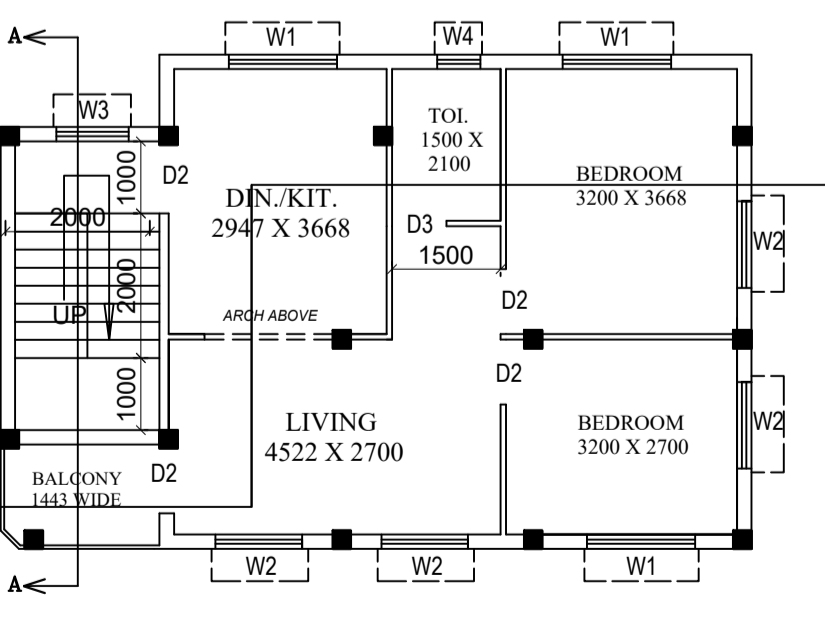
CONSULTANT BY-



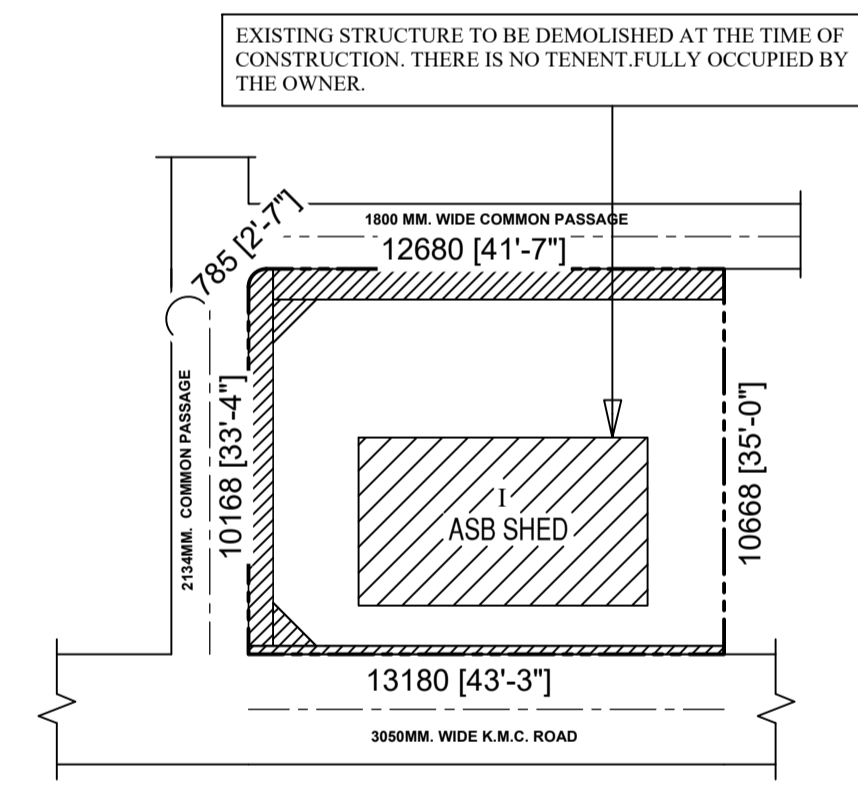
GROUND FLOOR PLAN  
SCALE 1:100

THE DEPTH OF SEPTIC TANK & S.U.W.R. SHOULD NOT EXCEED THE DEPTH OF FOUNDATION OF THE BUILDING.

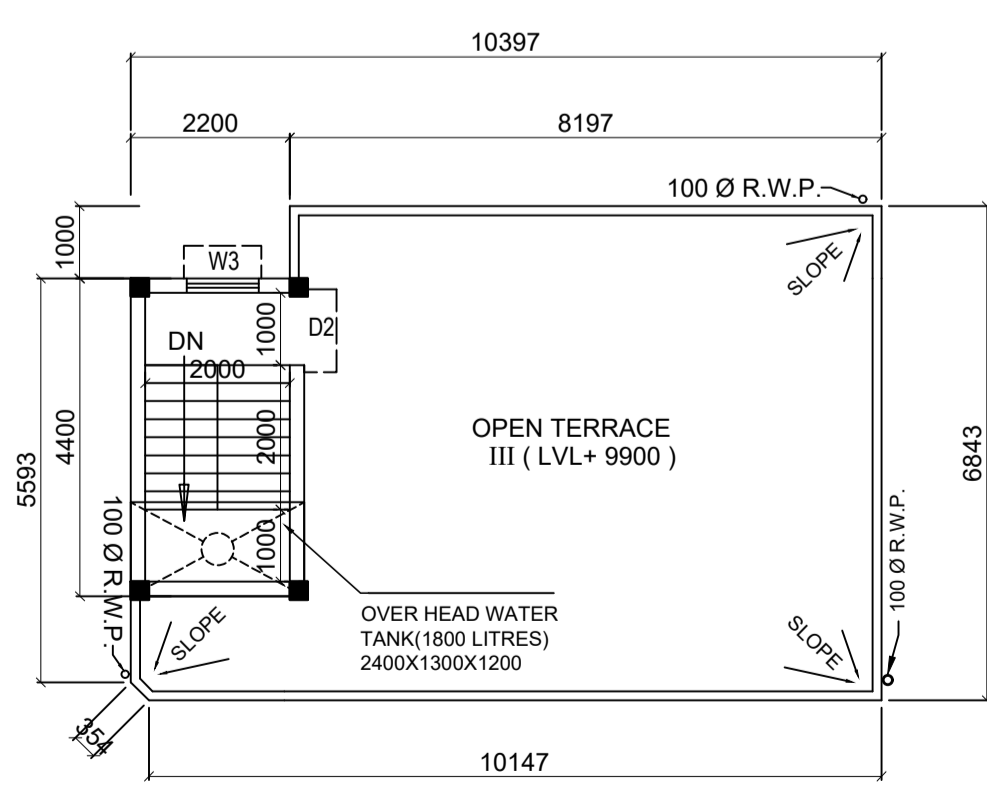
THE MANDATORY OPEN SPACES HAS BEEN PROVIDED AS PER THE K.M.C. OFFICE CIRCULAR NO.- 4 OF 2017-2018 (BUILDING DEPARTMENT), DATE- 01/08/2017.



1ST. & 2ND. FLOOR PLAN  
SCALE 1:100



EX. GROUND FLOOR PLAN  
SCALE=1:200



ROOF PLAN  
SCALE 1:100